

PLANNING COMMITTEE REPORT



ISLINGTON

Development Management Service
Planning and Development Division
Environment and Regeneration
Department
PO Box 3333
222 Upper Street
LONDON N1 1YA

PLANNING SUB COMMITTEE B		AGENDA ITEM NO:	B1
Date:	16 th July 2019	NON-EXEMPT	

Application number	P2019/0752/FUL
Application type	Full Planning Application
Ward	Junction
Listed building	N/A
Conservation area	N/A
Development Plan Context	Article 4 Direction A1-A2
Licensing Implications	None
Site Address	16 Tytherton Road, London, N19 4QD
Proposal	Erection of a single storey rear and side extension, including the demolition of an existing 1.2m deep single storey rear extension.

Case Officer	Owen Griffiths
Applicant	Mr Igor Zyskind
Agent	Projection Architects Ltd

1. RECOMMENDATION

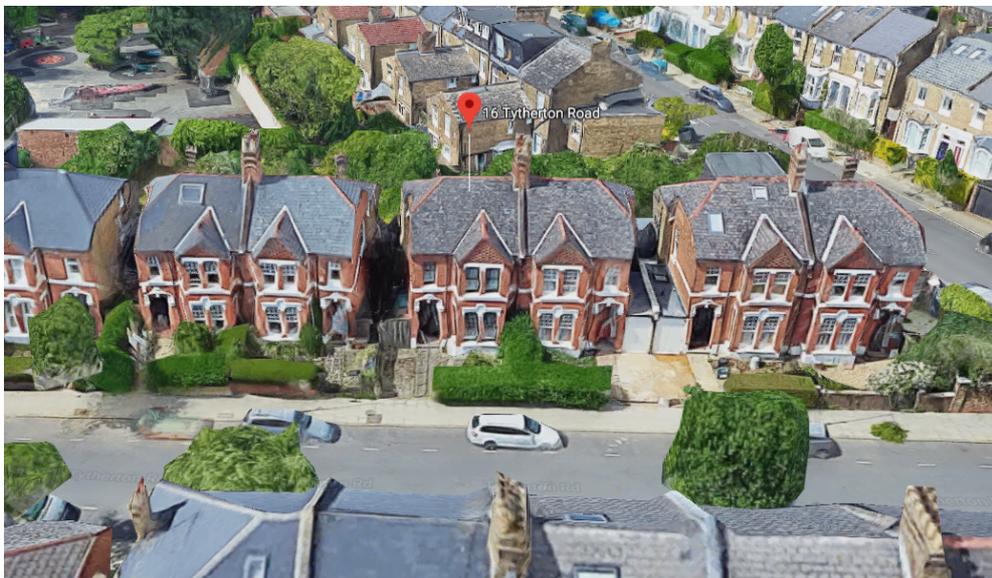
The Committee is asked to resolve to **GRANT** planning permission:

1. subject to the conditions set out in Appendix 1;

2. SITE PLAN (site outlined in black)



3. PHOTOS OF SITE/STREET



3.1 Image 1: Aerial View of Site



3.2 Image 2: Street View of Building



3.3 Image 3: Rear View of Building



3.4 Image 4: Location of Side Extension.

4. SUMMARY

- 4.1 Permission is sought for the erection of a single storey side extension and a single storey rear and side infill extension.
- 4.1 The side extension is modest in scale and has been sufficiently setback from the principle elevation and neighbouring boundary to avoid any negative impacts on the streetscene. Various neighbouring residents have objected to this element of the proposal due to the terracing effect it may have and due to the general unacceptability of development that may disrupt the uniformity of the semi-detached row of properties. It is concluded that no such terracing effect will be realised due to the scale and positioning of the extension that is set back by 2.3m from the front elevation and as it is inset from the neighbouring boundary by 0.3m.
- 4.2 It is concluded that the side extension meets all the relevant principles of Islington's Urban Design Guide and Policy DM2.1 by responding to its surrounding context and not effecting the coherent setting of the semi-detached row of properties.
- 4.3 Surrounding properties include infill side extensions that have disrupted the semi-detached pairings but the side extension proposed is similar to a neighbouring property (number 20) where a modest side extension has been constructed that does not disturb the uniformity of the semi-detached properties.
- 4.4 The rear extension is modestly proportioned and will not have any adverse implications for the amenities of neighbouring residents. The extension has been inset from the neighbouring boundary with number 14 to ensure there will not be a negative effect in terms of sunlight and daylight to this property. The overall design is contemporary while respecting the proportionality of the host building, remaining subservient to the primary mass.
- 4.5 Seven objections have been received from neighbouring residents and these objections have been raised to councillors who have requested for the application to be determined by the planning committee.

5. SITE AND SURROUNDING

- 5.1 The application site is a semi-detached Victorian dwelling located on the northern side of Tytherton Road. It forms part of a pair of identical dwellings (numbers 16 and 14). Numbers 10 to 24 (even) Tytherton Road form a row of semi-detached properties that are all identical in design and massing. Some have been altered over time with side extensions, rear extensions and between numbers 12 and 14 two front facing flat roof storage areas have been constructed in the gap between the not attached properties.
- 5.2 16 Tytherton Road is elegantly proportioned and retains many of its original features such as timber sash windows, arched window heads and decorative cornices. The property has a front facing gable with intricate brick work and a hipped roof.
- 5.3 The property is not listed and is not located within a conservation area. The surrounding area is predominantly residential in character with a mixture of terrace and semi-detached properties between two and three storeys in height.

6. PROPOSAL

- 6.1 It is proposed to construct a single storey rear extension and a side extension to the existing property. The side extension is set back from the front of the property by 2.3m and is 1.2m wide and 3.6m deep. The side extension will leave a 0.3m gap between the extension and the boundary wall to the neighbouring property, number 18 Tytherton Road and be constructed with a shallow pitched roof.
- 6.2 The rear extension would measure 6.2m in depth and is 5.3m wide. The property has an existing part two-storey, part single-storey rear outrigger extension measuring 3m in width and 4.5m in depth. The proposed rear extension is infilling the area to the side of the existing outrigger leaving a 0.3m gap to the neighbouring boundary, number 14 Tytherton Road, and extends 1.7m beyond the rear elevation of the existing outrigger. The extension has a flat roof apart from a small section of glazed shallow pitched roof that adjoins to the principle rear elevation of the property.
- 6.3 Both extensions are single storey (3m in height) and will be constructed from materials to match the existing building.

Amendments

- 6.4 The scheme has been revised to address concerns that were raised by officers and reconsulted neighbours over the design:
- It was originally proposed for the side extension to abut the boundary with the neighbouring property, 18 Tytherton Road and to adjoin the front elevation of the property. To avoid a terracing effect, it was advised that the side element should be set back from the front elevation and to not extend all the way to the neighbouring boundary. This advice has now been incorporated into the design and the side extension is set back 2.3m from the front elevation.
 - The rear extension was initially designed to adjoin the neighbouring boundary with number 14 Tytherton Road. Such an extension would have breached the BRE Guidance 45-degree rule in relation to sunlight and daylight and because of this the applicant was advised to inset the extension from the neighbouring boundary to ensure there will not be a negative impact in terms of daylight on the neighbouring property.
 - The BRE 45-degree rule is used to gauge whether a development will have an impact on the amount of light that is received into adjoining properties. If a development breaches a 45-degree line of the centre of a neighbouring window, in both plan and elevation, there is considered to be a negative impact. If the development is within the 45-degree line, in either plan or elevation, the impacts are considered to be minimal and therefore acceptable.

7. RELEVANT HISTORY:

PLANNING APPLICATIONS:

16 Tytherton Road:

- 7.1 **P2019/0538/COLP** - Certificate of lawfulness for a proposed use or operation - Hip to gable loft conversion under permitted development, including rear dormer and two skylights to front roofslope. **Approved 26th February 2019.**

20 Tytherton Road:

- 7.2 **P2017/4534/FUL** - Alterations to and extension of existing rear ground floor extension, including rear garden excavation works, removal of pitched roof to form flat roof with 1no. roof light above and fenestration changes. Replacement of sash window in rear flank elevation. Erection of timber pergola to side elevation. Insertion of 1no. roof light to main rear roof slope. **Approved 11/04/2018.**

8. CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants of 23 adjoining and nearby properties on Tytherton Road and Beaversbrook Road on the 11th April 2019. The application underwent a second round of consultation on the 9th May 2019 due to design alterations (paragraph 6.4).
- 8.2 In total, 7 objections have been received from surrounding residents. Objections have been raised to local ward councillors who have requested for the application to be determined by the planning committee. The reasons for these objections are summarised below with the relevant paragraphs highlighted in *italics* that address each reason for objection.

- Six objectors raised concerns over the side extension and that the amended design is still unacceptable. Objectors specifically raised issues with the side extension such it being too high and too large; it will change the aesthetics of the street; it is an ugly addition that will be of detriment to the whole street, a brickwork side addition with sloping roof is out of character and visually intrusive, changing the look of houses from the street; side extension should be no more than 2m high to match boundary fence; will create a terrace effect to the semi-detached houses, drastically changing the street scape and being contrary to paragraphs 5.142, 5.149 of Islington's Urban Design Guide.

Paragraph 10.7 – 10.14

- Impact on light to adjoining properties, in particular number 14 Tytherton Road but also the side windows to number 18 that are felt to be effected by the side and rear extensions.

Paragraph 10.21 – 10.25

- The proposed fibreglass roof and aluminium windows will be out of character with the property.

Paragraph 10.19 – 10.20

- The application is leapfrogging on previous development at properties in close proximity to the site, mainly number 10 to 20 Tytherton Road and gives incorrect information in the submitted documentation.

Paragraph 10.10 – 10.14

- Concern is raised due to the details approved under the certificate of lawfulness application (ref: P2019/0538/COLP) and that these are not shown on the existing or proposed drawings that have been submitted for the full planning application.

Paragraph 10.26 – 10.27

8.3 Comments

- The roof to the house has been removed and is not mentioned in the planning application. This should not be allowed as it effects the integrity of the row.

External Consultees

8.4 None

Internal Consultees

- 8.5 Design and Conservation – No Objection. The side extension is sufficiently set back from the front elevation and will therefore not detract from the architectural integrity of the semi-detached row of properties. The site is not listed nor is it located within a conservation area and therefore no concern is raised over the alterations to the rear.

9. RELEVANT STATUTORY DUTIES & DEVELOPMENT PLAN CONSIDERATIONS & POLICIES

- 9.1 Islington Council (Planning Sub-Committee B), in determining the planning application has the following main statutory duties to perform:

- To have regard to the provisions of the development plan, so far as material to the application and to any other material considerations (Section 70 Town & Country Planning Act 1990);
- To determine the application in accordance with the development plan unless other material considerations indicate otherwise (Section 38(6) of the Planning and Compulsory Purchase Act 2004) (Note: that the relevant Development Plan is the London Plan and Islington’s Local Plan, including adopted Supplementary Planning Guidance.) and;
- As the development is within a conservation area(s), the Council also has a statutory duty in that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area (s72(1)).

- 9.2 National Planning Policy Framework (NPPF): Paragraph 11 states: “at the heart of the NPPF is a presumption in favour of sustainable development which should be seen as a golden thread running through both plan-making and decision-taking. For decision-taking this means: approving development proposals that accord with the development plan without delay.

- 9.3 At paragraph 8 the NPPF states: “that sustainable development has an economic, social and environmental role”.

- 9.4 Since March 2014 Planning Practice Guidance for England has been published online.

- 9.5 In considering the planning application account has to be taken of the statutory and policy framework, the documentation accompanying the application, and views of both statutory and non-statutory consultees.

- 9.6 The Human Rights Act 1998 incorporates the key articles of the European Convention on Human Rights into domestic law. These include:
- Article 1 of the First Protocol: Protection of property. Every natural or legal person is entitled to the peaceful enjoyment of his possessions. No one shall be deprived of his possessions except in the public interest and subject to the conditions provided for by law and by the general principles of international law.
 - Article 14: Prohibition of discrimination. The enjoyment of the rights and freedoms set forth in this Convention shall be secured without discrimination on any ground such as sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth, or other status.
- 9.7 Members of the Planning Sub-Committee must be aware of the rights contained in the Convention (particularly those set out above) when making any Planning decisions. However, most Convention rights are not absolute and set out circumstances when an interference with a person's rights is permitted. Any interference with any of the rights contained in the Convention must be sanctioned by law and be aimed at pursuing a legitimate aim and must go no further than is necessary and be proportionate.
- 9.8 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers. The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to:
- (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act;
 - (2) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and
 - (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Development Plan

- 9.9 The Development Plan is comprised of the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

Designations

- 9.10 The site has the following designations under the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Article 4 Direction A1-A2

Supplementary Planning Guidance (SPG) / Document (SPD)

9.11 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

10.1 The main issues arising from this proposal relate to:

- Design and Conservation
- Neighbouring Amenity
- Other Matters

Design and Conservation

- 10.2 The National Planning Policy Framework (NPPF) 2019, Policy 12, states that good design is a key aspect of sustainable development, creating better places to live and work.
- 10.3 Policy CS8 of Islington's Core Strategy (CS) 2011 and Policy DM2.1 of Islington's Development Management Policies 2013 accord with the National Planning Policy Framework (NPPF) in seeking to sustain and enhance Islington's built environment. Taken together, they seek to ensure that proposed development responds positively to existing buildings, the streetscape and the wider context, including local architecture and character, surrounding heritage assets, and locally distinctive patterns of development.
- 10.4 Islington Urban Design Guide (2017) outlines at paragraph 5.67 that 'New development should create a scale and form of development that relates to the existing built form and provides a consistent and coherent setting for the space or street that it defines or encloses, while also enhancing and complementing the local identity of an area. The nature of the existing street frontage will therefore normally determine the extent of potential development'. The UDG goes on to identify that 'any proposal for a side extension between semi-detached dwellings should take into account the rhythm and symmetry of the built form and the street as a whole. In limited circumstances it is possible that an extension would serve to restore that symmetry, but more often the effect is to undermine the prevailing rhythm and to dominate the existing building(s)' (paragraph 5.142). Furthermore, 'one sided extensions will normally be resisted where they undermine the symmetry of the original building. Two sided extensions on semi-detached villas and extensions above detached villas will usually only be considered where they exist elsewhere in the street on identically designed buildings' (paragraph 5.149).
- 10.5 Policy DM2.1 of Islington's Development Management Policies requires new development, inter alia, to respect and respond positively to existing buildings, the streetscape and wider context, and to be sustainable, durable, adaptable, safe and inclusive. Policy DM2.3 further provides that the borough's heritage assets should be conserved and enhanced in a manner appropriate to their significance.

Proposal

- 10.6 The development incorporates a side extension setback 2.3m from the front elevation of the property and a rear extension that is infilling an area to the side of and existing rear outrigger extension. The rear extension will extend 1.8m beyond the rear of the existing outrigger.

Side Extension

- 10.7 The side extension is set back from the principle front elevation of the property by 2.3m and will be 3m in height to the eaves (3.4m maximum), 1.2m in width and 3.6m in depth. The extension will be constructed from materials to match the existing building, that being brick facades and a shallow pitched grey slate roof with two non-protruding rooflights. There will be a 0.3m gap between the side elevation of the extension and the boundary fence with the neighbouring property, 18 Tytherton Road.

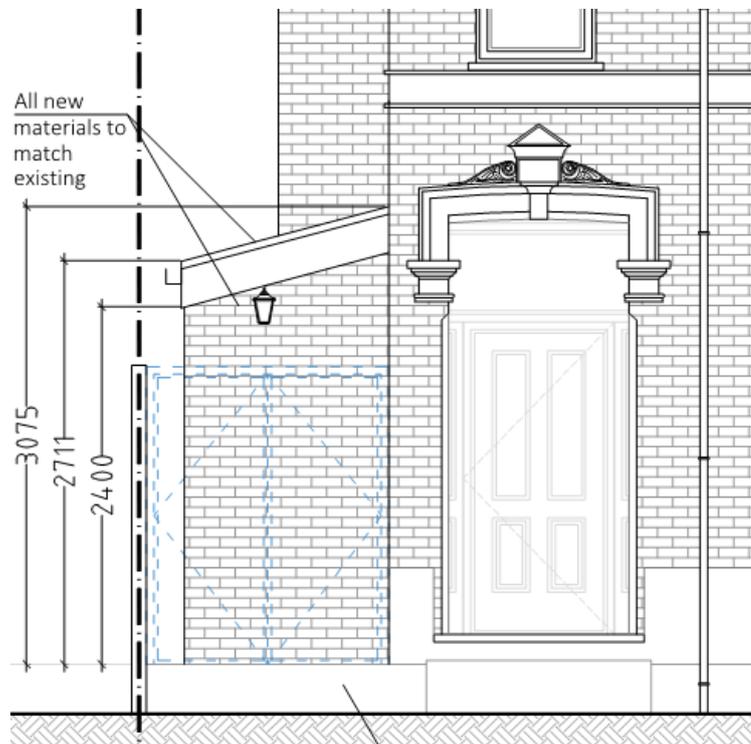


Image 5: Front Elevation View of Side Extension



Image 6: Side View of Side Extension

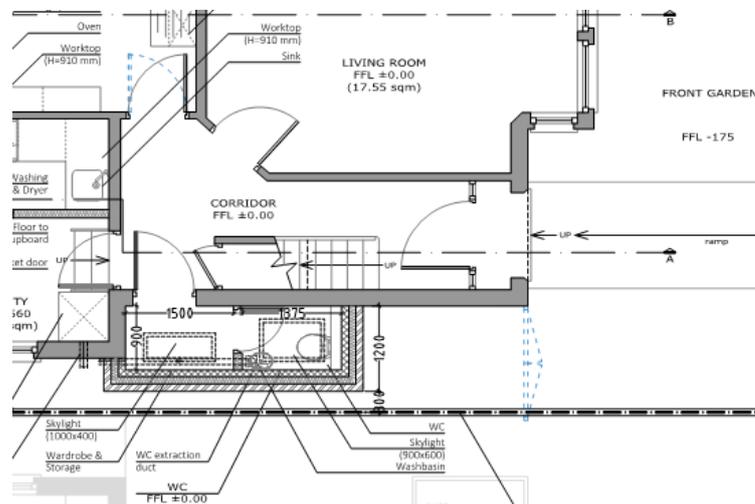


Image 7: Plan view of side extension

- 10.8 An extension of this scale, with a footprint of 4.1sqm, is considered to be appropriately modest and would not harm the architectural integrity of the host dwelling. The materials of the extension will match the existing property and a shallow pitched roof accords with the build form of surrounding properties.
- 10.9 Concern has been raised by surrounding residents over the potential terracing effect a side extension may have. These concerns were raised to the applicant and it was suggested that the extension should be inset from the neighbouring boundary and set back from the principle elevation fronting Tytherton Road. These amendments have been incorporated into the design to avoid a terracing effect and to ensure the overall architectural appearance of the host dwelling, as well as surrounding properties, is not materially altered.
- 10.10 16 Tytherton Road lies within a row of 8 semi-detached properties, numbers 10 to 24 (even), while the rest of the area is predominately formed of residential terraces. From street level there are various signs of non-original development that have affected the appearance of the semi-detached row. Between numbers 12 and 14,

garage style infill extensions have been constructed that have joined the non-attached sides of the properties. A side extension has been constructed to number 20 Tytherton Road that is visible from public views (ref: P2017/4534/FUL) and finally, number 24 has a hip to gable and dormer roof extension that is visible from street level due to there being a pathway to the side of this property, the last of the semi-detached row.

- 10.11 It is evident that there have been alterations to neighbouring properties that have altered the appearance of the semi-detached row, some more positively than others. The adjoining extensions between numbers 12 and 14 have no architectural merit but looking at historic imagery of the street it can be seen that these areas have been infilled since at least 2008 (when the first historical imagery is available). The side extension at number 20 is more comparable to the extension proposed to number 16 and this was granted planning consent in 2018 under the same local planning policies that are currently adopted. In this instance, the extension was replacing an existing side extension that was nearly identical in style and massing. The side extension to number 20 leaves a 0.7m gap to the neighbouring boundary and is set back from the front elevation by 3.15m (see image 8 below).



Image 8: Consented Side Extension at Number 20 Tytherton Road (Ref: P2017/4534/FUL)

- 10.12 The Urban Design Guide sets out guidance for side extensions and makes specific reference to side extensions to semi-detached properties. Paragraph 5.67 states that new development should provide a consistent and coherent setting and that the existing street frontage will therefore normally determine the extent of potential development. Paragraph 5.142 refers to side extensions and that for semi-detached dwellings, side extensions should take into account the rhythm and symmetry of the built form and the street as a whole. Finally, paragraph 5.149 states that 'Two sided extensions on semi-detached villas and extensions above detached villas will usually only be considered where they exist elsewhere in the street on identically designed buildings'.

10.13 The side extension to number 16 is considered to comply with the aforementioned paragraphs of the UDG for the following reasons. The side extension has responded to the built form of surrounding development by the use of matching materials and a shallow pitched roof that compliments the surrounding architectural style of neighbouring properties. The extension has been sufficiently set back from the front elevation and inset from the side boundary as to not disturb the coherent setting of the streetscape. Being set back by 2.3m from the principle elevation also results in the extension not effecting the symmetry of the semi-detached row and the inclusion of a gap to the neighbouring boundary also ensures that no terracing effect will be realised. The extension to number 20, an identically designed building, demonstrates that the side extension is compliant with UDG paragraph 5.149. Furthermore, design that respects and responds positively to existing buildings, the streetscape and locally distinctive patterns of development forms a key component of Policy DM2.1, Part A (ii).

10.14 On balance, and given the scale, massing and positioning of the side extension, set back from the principle elevation by 2.3m, this element of the proposal is considered to be an acceptable form of development and in accordance with Policy DM2.1 and the relevant sections of the Islington's Urban Design Guide (2017)

Rear Extension

10.15 To the rear of the property a single storey extension will infill the majority of the area to the side of the existing outrigger extension, leaving a 0.3m gap to the neighbouring boundary with number 14 Tytherton Road. The rear extension will also extend 1.8m beyond the furthest point of the existing rear outrigger extension into the rear garden. Overall, the extension will measure 5.3m in width and 6.4m in depth. The extension will have a flat roof (2.4m above ground level) apart from a sloped glazed skylight that adjoins the primary rear elevation of the host building at a height of 3.1m. There will be a further glazed skylight towards the rear of the flat roof. Access to the garden will be provided from the new living/dining room via three glazed sliding doors.

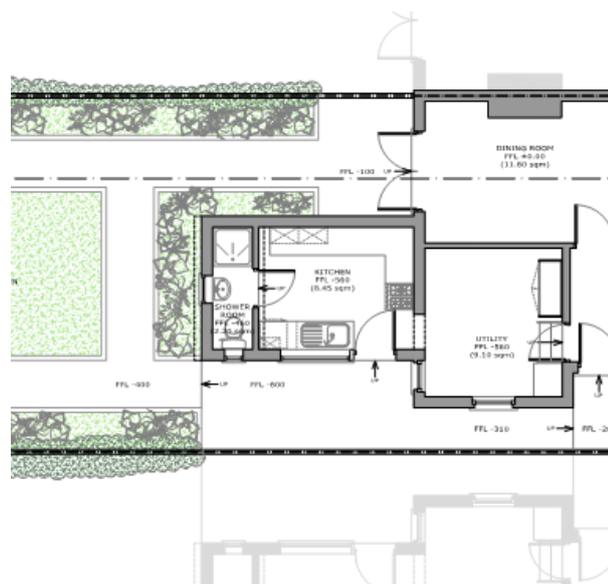


Image 9: Existing Floorplan (rear part)

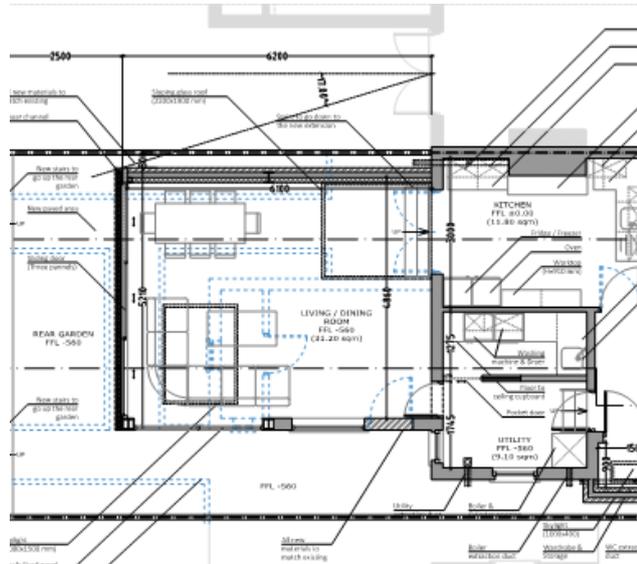


Image 10: Existing and Proposed Rear Extension

10.16 The rear extension will also involve minor excavation works, approximately 0.6m deep from the principle rear elevation into the rear garden and will provide an extra 0.3m to 0.4m of floor to ceiling height in the rear extension. Given the level of excavation proposed and its location within the rear garden and not underneath the principle mass of the property, the submission of a structural method statement is not necessary in this instance.

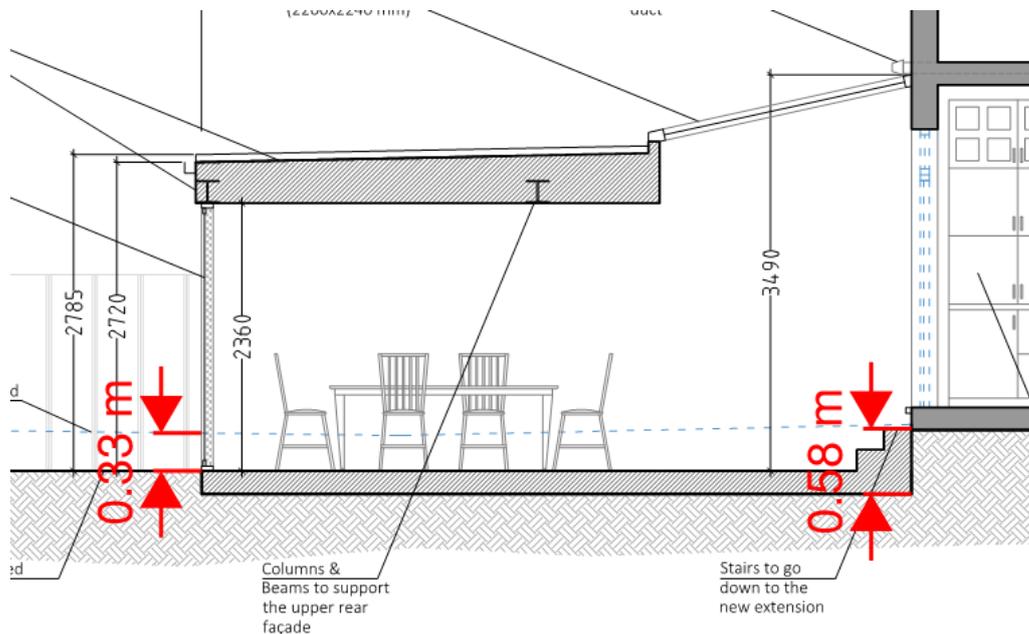


Image 11: Section Through Rear Extension

10.17 Islington's Basement Development SPD (2016) sets out design indicators for basement developments due to the proliferation of subterranean development that is occurring in the borough. Soil excavation to 0.6m is not classed as an engineering operation and leaving an excavated area of between 0.3 and 0.4m in depth is considered to be sufficiently shallow as to not be classed as basement

development, usually around 3m in depth. The requirements of the Basement Development SPD therefore do not apply in this instance.

- 10.18 Paragraph 5.138 of the UDG states that there will normally be scope for lower ground or ground floor extensions beyond the line of the existing back addition providing sufficient garden space is retained as useable amenity and does not result in fragmented areas incapable of supporting soft landscaping. High quality contemporary extensions are encouraged on lower floors except where conservation guidelines require extensions to conform to the design of the existing building.



Figure 19 Acceptable approaches to rear extensions. Ground floor infill extensions are normally acceptable in design terms. Where there are generous gardens and they do not impede on the amenity of neighbouring properties, there is sometimes opportunity to extend out beyond the existing back line. Where there is existing variation in the rear elevations, extensions above existing rear projections will normally be acceptable providing they are visibly below the lowest point of the roof.

Image 12: Figure 19 from the Urban Design Guide (2017) – Acceptable Forms of Rear Extensions (page 52)

- 10.19 In design terms, there are no adverse concerns raised by an extension such as the one proposed. The majority of the extension is infilling an area to the side of an existing extension and the overall appearance of the extension, while contemporary in its design, will complement the existing dwelling in terms of its scale, massing and use of matching materials. The proportions of the extension will ensure that the extension remains subservient to the main mass of the host building and sufficient usable garden space is being retained for the enjoyment of future occupiers of the building.

- 10.20 Overall, the design of the rear and side extensions are considered to be acceptable. The architectural styling and fine detailing to the host property does hold some heritage value despite not being listed or within a conservation area. However, the development proposed is not considered to harm the host property or the appearance of the matching semi-detached properties on this stretch of Tytherton Road. The side extension is modest in scale and sufficiently set back from the

principle front elevation as to not affect the streetscape. The scale and massing of the rear extension remains subservient to the mass of the original dwelling house and it is therefore concluded that the proposals, in terms of design complies with the Urban Design Guide, Policies CS8, CS9, DM2.1 and DM2.3 as well as the principles of the NPPF described above.

Neighbouring Amenity

- 10.21 Policy 7.6 of the London Plan provides that development should not cause unacceptable harm to the amenity of surrounding properties, particularly residential buildings. This is reflected at local level in Policy DM2.1 of the Islington Development Management Policies, which requires developments to provide a good level of amenity, including consideration of noise, disturbance, hours of operation, vibration, pollution, overshadowing, overlooking, privacy, sunlight and daylight, over-dominance, sense of enclosure and outlook.
- 10.22 The initial rear extension design infilled the side of the existing outrigger up to the boundary with the neighbouring property. During the application process it was noted that such an extension would breach the BRE guidance 45-degree rule (paragraph 6.4) in elevation for the neighbouring ground floor opening to number 14 Tytherton Road (the adjoining property of the semi-detached pair). The extension will also breach the 45-degree rule in plan. However, this is common for rear extensions such as the one proposed. To avoid the extension breaching both the 45-degree rule in plan and elevation, as this would likely have a material impact on the levels of light entering the adjoining property, it was requested for the extension to be inset from the boundary. This amendment has been incorporated into the final design and the extension is set back 0.3m from the boundary fence with number 14 Tytherton Road. The BRE 45-degree test is now complied with and the development will therefore not have an unacceptable harm on the daylight to the neighbouring property.

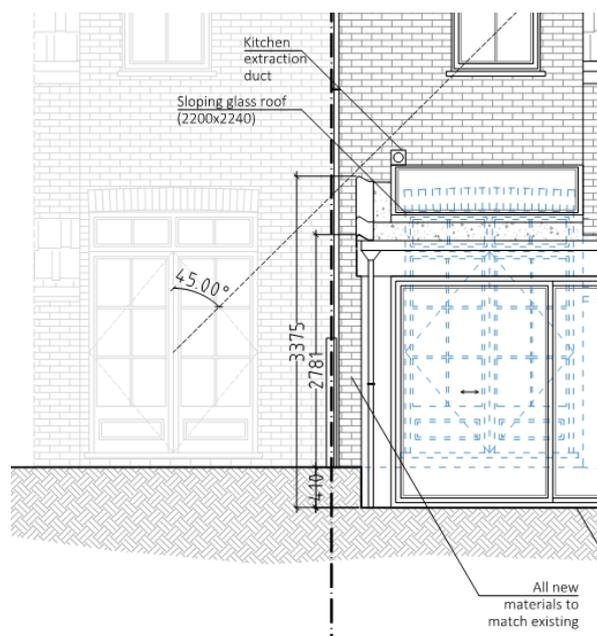


Image 13: Rear Elevation Showing 45-Degree Line

- 10.23 The resident to the neighbouring property at 18 Tytherton Road made reference to the impact on sunlight and daylight to the side windows of his property. The existing situation already breaches the initial 25-degree BRE test, with the main mass of the

building at the application site directly facing the side windows of the neighbouring property, being within 3.4m. In instances such as these, where the existing window is already heavily impacted by the current situation, no further assessment is required. The side extension will have a negligible impact to the ground floor side doorway of the adjacent property but as this doorway, with glazed panelling, leads to an internal hallway and not a habitable room, no adverse concerns are raised and a detailed assessment is not required.

- 10.24 As both extensions are single storey, with no side facing windows, there will be no effect on neighbouring amenity in terms of overlooking or loss of privacy. The extensions have been set back from neighbouring properties and have been correctly proportioned, with the rear extension sitting 0.4m below the existing ground level due to the excavation works proposed. Therefore, it is concluded that the development will not be overbearing or to have an enclosing effect on neighbouring properties. A condition is recommended to prevent the flat roof area being used as an amenity space as to prevent undue overlooking to neighbouring properties.
- 10.25 Overall, the proposals do not raise any adverse concerns in terms of effects on neighbouring amenity. The design has been sufficiently amended to address initial concerns that were raised and the amended scheme is therefore considered to comply with Islington Development Management Policy DM2.1 in terms of effect on neighbouring amenity and London Plan Policy 7.6.

Other Matters

- 10.26 On the 26th February 2019 a Certificate of Lawfulness was approved at the site for the construction of a hip to gable loft conversion including rear dormer and two skylights to front roofslope under class B and Class C of the General Permitted Development Order 2015. At the time of submission for the current application, and subsequent site visit on the 30th April, this development had not been implemented and the roof was unaltered.
- 10.27 Objections have been raised over alterations to the roof, that do not form part of the application currently under assessment, and that these details were not provided on the submitted plans for the two extensions currently under consideration. Had the roof alterations been implemented at the time of submission and were apparent during the site visit, it would have been requested for the roof alterations to be included on the plans for the extensions. Furthermore, the above assessment has been undertaken in the knowledge of the development that has been approved under the General Permitted Development Order 2015. Taken together, the cumulative impacts of the roof alterations and the proposed extensions are not considered to be overdevelopment and no adverse concerns are raised that would warrant a reason to refuse the application.

11. SUMMARY AND CONCLUSION

Summary

- 11.1 A summary is provided at paragraph 4.

Conclusion

- 11.2 It is recommended that planning permission be granted subject to conditions.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION

That planning permission be granted subject conditions listed below.

List of Conditions:

1	Implementation Period CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission. REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).
2	Approved plans list CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans: B-01 Rev F, A-01 Rev G, A-02 Rev F, A-03 Rev F, A-04 Rev F, A-05 Rev F, A-06 Rev F, A-07 Rev F, A-08 Rev F, A-09 Rev F, Design and Access Statement dated 7 th March 2019 REASON: To comply with Section 70(1) (a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.
3	Materials to Match (Compliance) MATERIALS TO MATCH (COMPLIANCE): The facing materials of the extensions hereby approved shall match the existing building in terms of colour, texture, appearance and architectural detailing and shall be maintained as such thereafter. REASON: To ensure that the appearance of the building is acceptable.
4	Rooflights Conservation Grade (Compliance) CONDITION: The roof lights to the side extension hereby approved shall be conservation grade rooflights and not protrude beyond the plane of the roof to the extension. REASON: To ensure that the appearance of the building is of high quality.
5	Flat Roof Not Used as Amenity Space (Compliance) CONDITION: The flat roof area shown on plan no. A-02 Rev F hereby approved shall not be used as an amenity or sitting out space of any kind whatsoever and shall not be used other than for essential maintenance or repair, or escape in case of emergency. REASON: To prevent the undue overlooking of neighbouring habitable room windows.

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2019 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2016 - Spatial Development Strategy for Greater London

7 London's living places and spaces
- Policy 7.6 Architecture

B) Islington Core Strategy 2011

Spatial Strategy
- Policy CS8 (Enhancing Islington's Character)

Strategic Policies
- Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

C) **Development Management Policies June 2013**

Design and Heritage

- DM2.1 Design
- DM2.2 Inclusive Design
- DM2.3 Heritage

Energy and Environmental Standards

- DM7.1 Sustainable design and construction statements

3. **Designations**

The site has the following designations under the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Article 4 Direction A1-A2

6. **Supplementary Planning Guidance (SPG) / Document (SPD)**

The following SPGs and/or SPDs are relevant:

- | | |
|---|-------------------------------------|
| <u>Islington Local Development Plan</u> | <u>London Plan</u> |
| - Urban Design Guide (2017) | - Housing |
| | - Sustainable Design & Construction |